



ADDITIONS

**INCLUDED: LIST OF REQUIREMENTS
SAMPLE DRAWINGS**



Planning & Development Services

Tel. 905-683-4550

Fax. 905-686-0360

TOWN OF AJAX

65 Harwood Ave South

Ajax ON L1S 2H9

www.ajax.ca

Permit to Construct New Buildings

Residential Buildings

Fees:

- Building Permit Fee pursuant to Building Bylaw 92-2010, Schedule A, Part B, Item 3
- Estimated construction value (to be checked against the TACBOC valuation)

Application Forms:

- Completed Application for a Permit to Construct or Demolish
- Schedule 1: Designer Information
- Acknowledgement by Applicant of Incomplete Application
- Letter of Authorization
- Completed Education Development Charges Information form
- Completed Regional Municipality of Durham Residential Development Charges Information form(s) - Regular and Carruthers Creek (when necessary), for each unit
- Completed Regional Municipality of Durham Regional Application for Sanitary Sewer/Water Service hook-up, or a private sewer and potable water approval from the Durham Regional Health Service
- Completed Energy Efficiency Design Summary form
- Completed Applicable Law Checklist (where necessary)

Drawing Submission:

- Three copies of a Site Plan/Legal Survey
- Three copies of a Site Grading/Lot Drainage Plan
- Two copies of fully dimensioned Construction Drawings that bear the Designer Qualification Information including:
 - a cover page or title block (review/approval by the Control Architect),
 - North arrow, scale, legend of symbols,
 - the project identity (name, address, unit #, etc),
 - the size of the proposed building,
 - the nature of the occupancy (i.e. S.F.D., Townhouse)
- Two copies of the Roof Truss drawings
- Two copies of Heat Loss calculations and Duct Layout

Additional Approvals and Information:

- Durham Region Health Department approval if the subject building is connected to or adjacent to a **Septic System**.
- Clearance from Toronto & Region Conservation Authority (if applicable)

This is a general list of requirements and is not intended to be comprehensive.



Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act.

For use by Principal Authority

Application number:	Permit number (if different):
Date received:	Roll number:

Application submitted to: The Town of Ajax
 (Name of municipality, upper-tier municipality, board of health or conservation authority)

A. Project information

Building number, street name	Unit number	Lot/con.
Municipality Ajax	Postal code	Plan number/other description
Project value est. \$	Area of work (m ²)	

B. Purpose of application

<input type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit	
Proposed use of building	Current use of building
Description of proposed work	

C. Applicant Applicant is: Owner or Authorized agent of owner

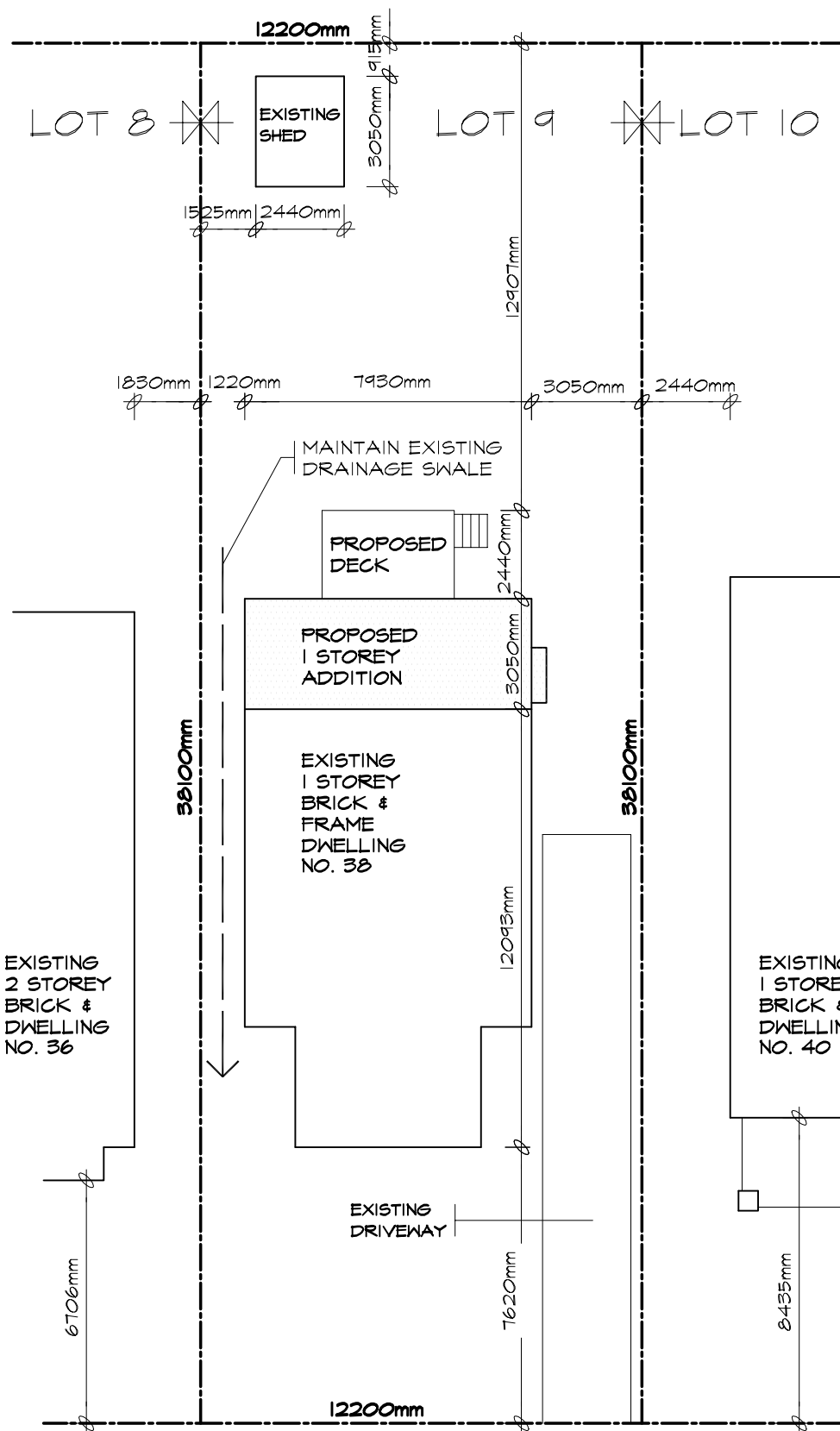
Last name	First name	Corporation or partnership	
Street address	Unit number	Lot/con.	
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	

D. Owner (if different from applicant)

Last name	First name	Corporation or partnership	
Street address	Unit number	Lot/con.	
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality		Postal code	Province	E-mail
Telephone number ()		Fax ()		Cell number ()
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
I _____ declare that: (print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
_____		_____		
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.



SITE PLAN

SCALE 1:200

SKETCH OF SURVEY OF
 LOT 9
 REG'D PLAN 4220
 CITY OF TORONTO
 B.C. TRANSIT. O.L.S.
 DECEMBER 31ST, 1999

KHALMUR CRESCENT

ZONING	LOT NO:		PLAN NO:		LOT AREA		LOT FRONTAGE		LOT DEPTH	
R2 Z0.6	LOT 9		4220		580.64m ²		12200mm		38110mm	
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED	
LOT COVERAGE	86.52m ²	24.15m ²	110.65m ²	19.0	-----		FRONT YARD	7620mm	7620mm	
GROSS FLOOR AREA	86.52m ²	24.15m ²	110.65m ²	19.0	348.39m ²	60.0	REAR YARD	18390mm	12907mm	
LANDSCAPED AREA	-----	-----	-----		-----		INTERIOR SIDE (east)	3050mm	3050mm	
NO. OF STORIES HEIGHT	1 STOREY 4550mm	1 STOREY 4550mm	1 STOREY 4550mm		10000mm		INTERIOR SIDE (west)	1220mm	1220mm	
WIDTH	7930mm	7930mm	7930mm		-----		EXTERIOR	-----	-----	
DEPTH	12093mm	3050mm	15143mm		17000mm					
PARKING	-----	-----	-----		-----					

NOTE: ZONING RESTRICTIONS VARY IN EVERY MUNICIPALITY. CONTACT YOUR LOCAL MUNICIPAL OFFICE FOR SPECIFIC SETBACKS AND OTHER LIMITATIONS IN YOUR AREA.

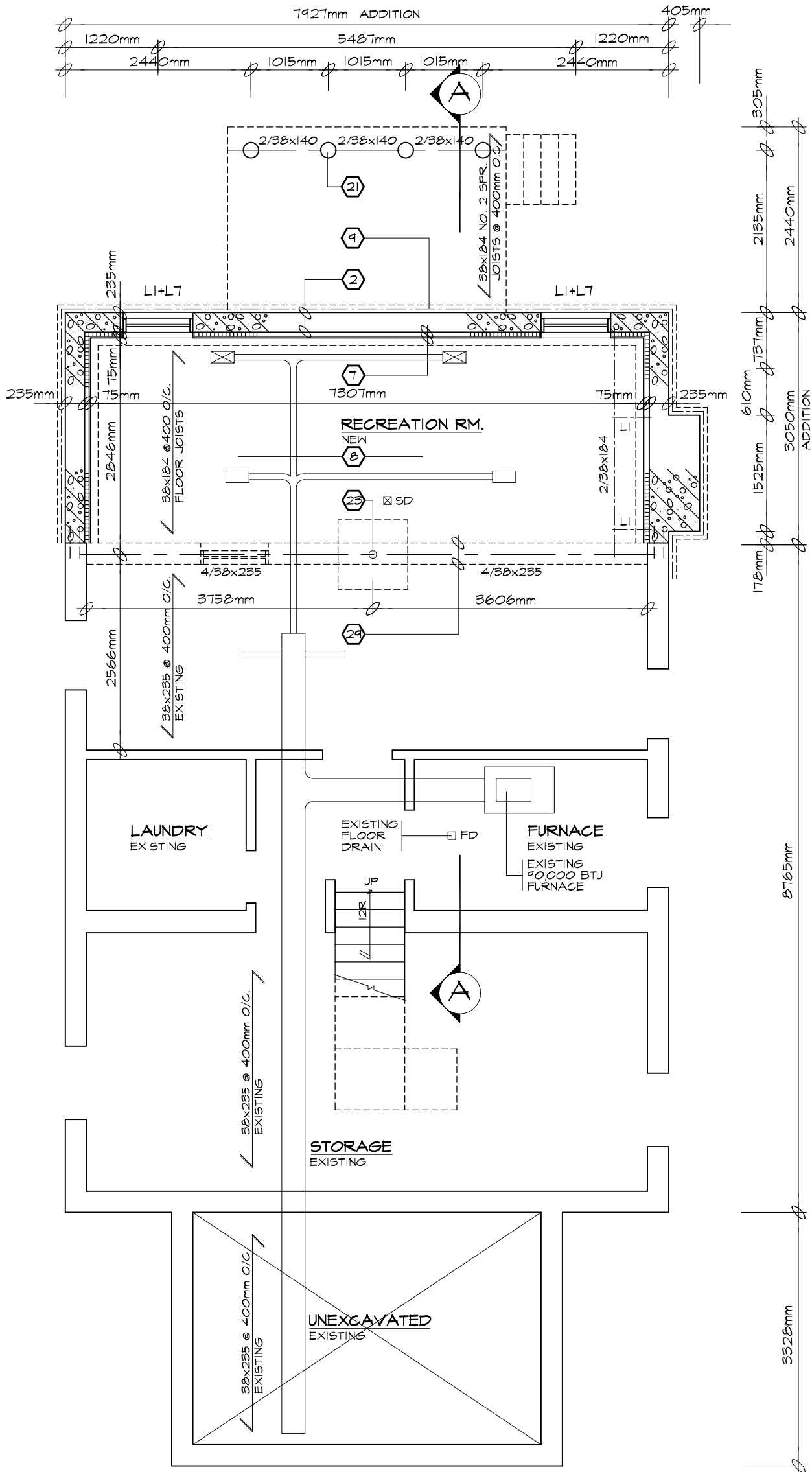
TACBOC
 STANDARD DETAIL

TITLE
 SAMPLE DRAWING
 SITE PLAN

DWG. NO.

A03a

2007



BASEMENT PLAN

SCALE 1:50

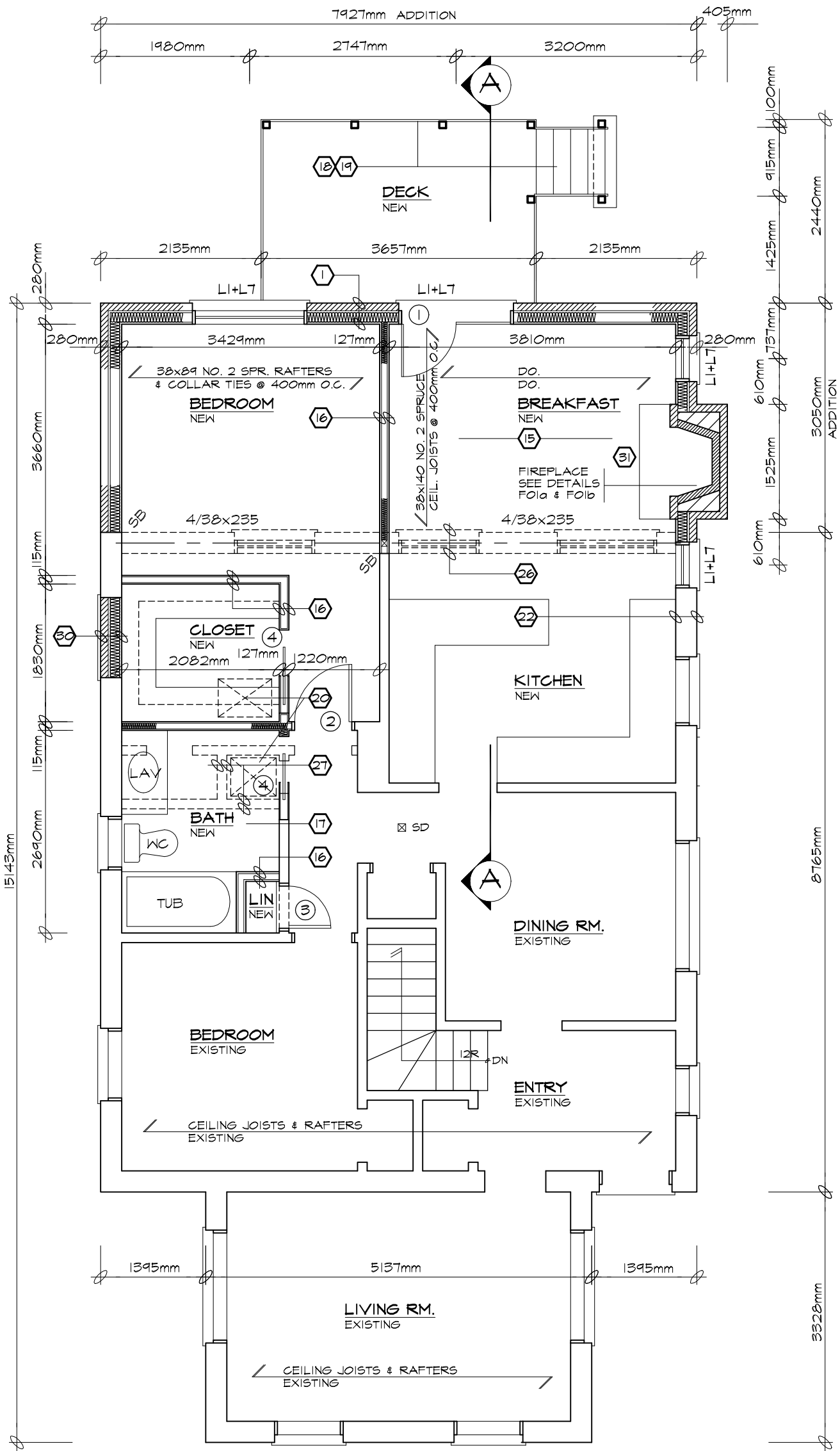
TACBOC
STANDARD DETAIL

TITLE
SAMPLE DRAWING
BASEMENT PLAN

DWG. NO.

A03b

2007



GROUND FLOOR PLAN
SCALE 1:50

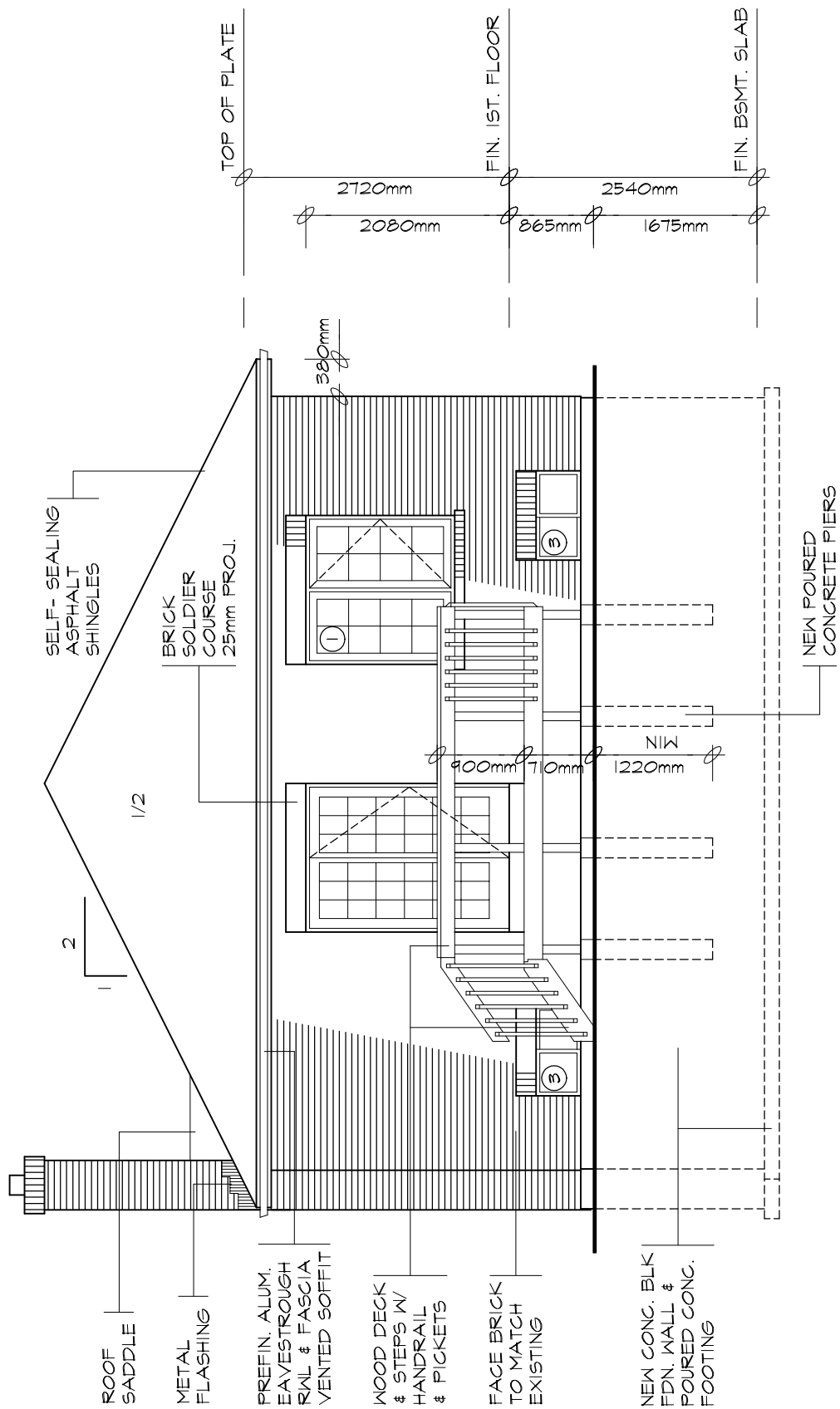
TACBOC
STANDARD DETAIL

TITLE
SAMPLE DRAWING
GROUND FLOOR PLAN

DWG. NO.

A03c

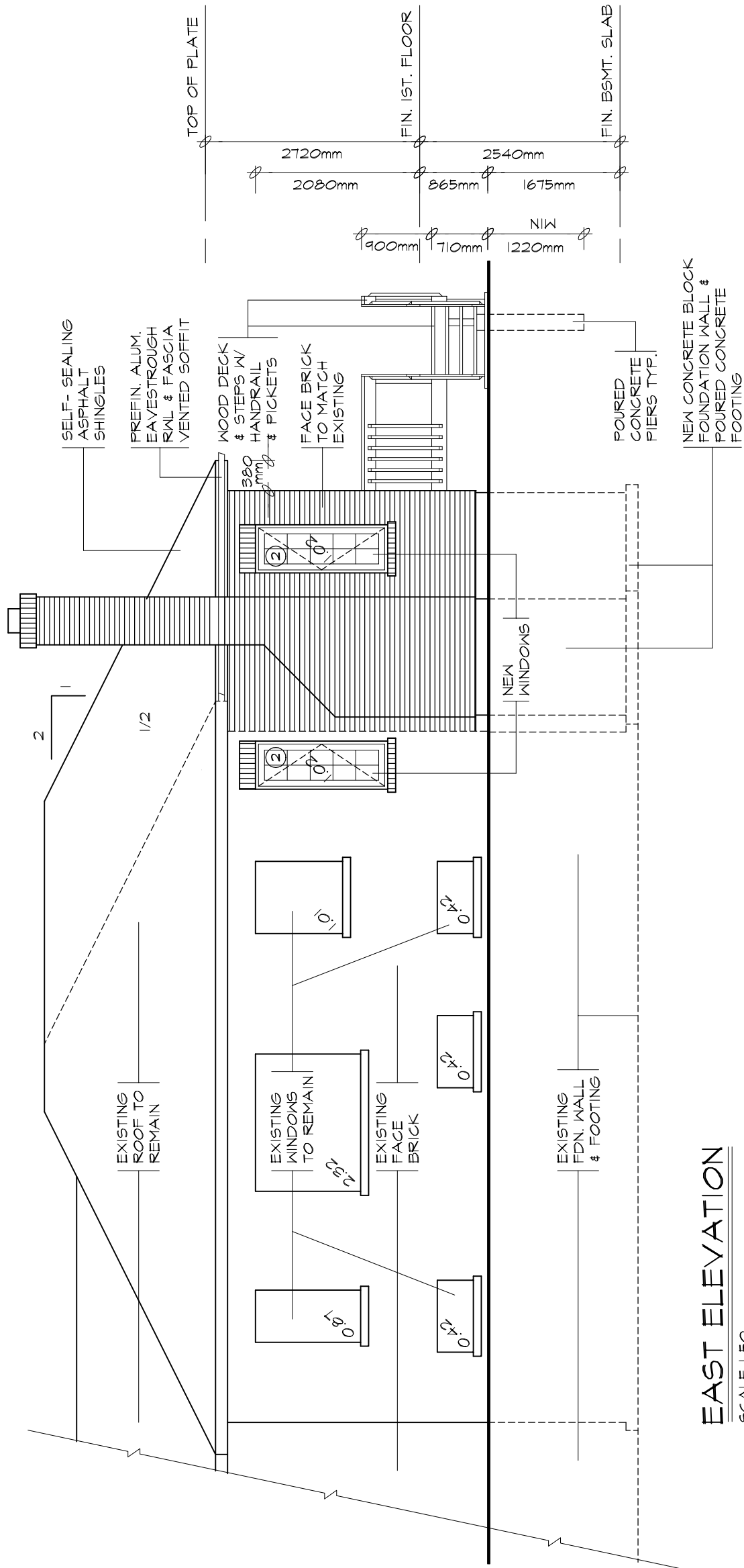
2007



NORTH ELEVATION

SCALE 1:50

3050mm
ADDITION



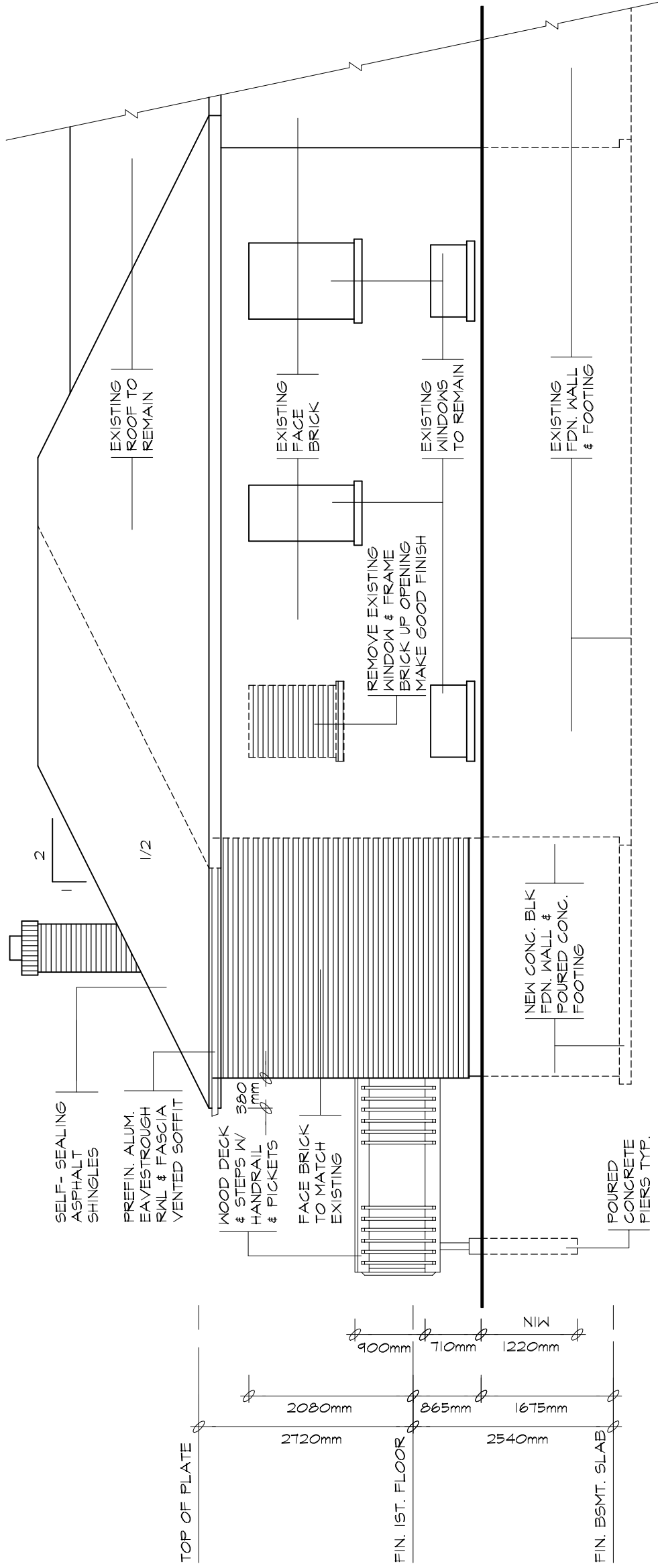
EAST ELEVATION

SCALE 1:50

UNPROTECTED OPENINGS

WALL AREA	38.99m ²
LIMITING DISTANCE	3050mm @ 19.43%
MAX. ALLOWABLE OPENINGS	7.50m ²
TOTAL OPENINGS PROVIDED	7.50m ²

3050mm
ADDITION



WEST ELEVATION

SCALE 1:50

UNPROTECTED OPENINGS

NO NEW OPENINGS
EXISTING TO REMAIN

CONSTRUCTION SPECIFICATIONS

- 1 BRICK VENEER WALL**
 90mm FACE BRICK, 25mm AIR SPACE
 0.76mm THICK x 22mm WIDE
 GALVANIZED METAL TIES
 INSTALLED W/ GALVANIZED
 SPIRAL NAILS OR SCREWS
 400mm O.C. HORIZ., 600mm O.C. VERT.
 AIR BARRIER LAYERS
 TO OVERLAP EACH OTHER
 EXTERIOR TYPE SHEATHING
 38x140 WOOD STUDS @ 400mm O.C.
 RSI 3.34 BATT INSUL. IN CONTINUOUS
 CONTACT W/ EXTERIOR SHEATHING
 CONTINUOUS AIR / VAPOUR BARRIER
 12.7mm INTERIOR DRYWALL FINISH
 DOUBLE PLATE @ TOP
 SOLE PLATE @ BOTTOM
- 2 FOUNDATION WALL**
 BITUMINOUS DAMPPROOFING ON
 MINIMUM 6mm PARGING ON
 CONCRETE BLOCK FDN. WALL
 TOP BLOCK COURSE FILLED
 W/ MORTAR OR CONCRETE
 PROVIDE PARGING COVERED OVER
 450mmx150mm POURED CONC. FOOTING
 TO BEAR ON UNDISTURBED SOIL
 PROVIDE DRAINAGE LAYER
 - MIN. 19mm MINERAL FIBRE
 INSULATION W/ A DENSITY OF
 NOT LESS THAN 57kg/m³. OR
 - MIN. 100mm OF FREE DRAINING
 GRANULAR MATERIAL OR
 - A B.M.E.C. APPROVED
 DRAINAGE LAYER MATERIAL
- 3 BRICK VENEER @ FDN. WALL**
 0.5mm POLY FLASHING MINIMUM
 150mm UP BEHIND SHEATHING PAPER
 WEEP HOLES @ MIN. 800mm APART
- 4 GRADE**
 SLOPE GRADE AWAY FROM
 BUILDING FACE & PROVIDE
 SEMI-SOLID BLOCK COURSE
 AT OR BELOW GRADE LEVEL
- 5 SILL PLATE**
 38x140 SILL PLATE FASTENED
 TO FOUNDATION WALL WITH
 MIN. 12.7mm DIA. ANCHOR BOLTS
 EMBEDDED MIN. 100mm IN CONCRETE
 @ 2400mm O/C. MAX. & PROVIDE A
 CONTINUOUS AIR BARRIER BETWEEN
 THE FOUNDATION WALL & WOOD
 FRAME CONSTRUCTION
- 6 FLOOR INSULATION**
 CONTINUOUS HEADER JOIST WITH
 RSI 4.40 BATT INSULATION, EXTEND
 VAPOUR / AIR BARRIER & SEAL
 TO JOIST AND SUBFLOOR
- 7 FOUNDATION INSULATION**
 12.7mm INTERIOR DRYWALL FINISH
 38x89 WOOD STRAPPING @ 400mm O/C.
 MIN. RSI 2.11 INSULATION W/ 0.15mm POLY
 VAPOUR BARRIER FULL HEIGHT.
 MOISTURE BARRIER TO HEIGHT OF
 EXTERIOR GRADE BETWEEN
 FOUNDATION WALL & WOOD FRAMING
- 8 BASEMENT SLAB**
 75mm POURED CONCRETE SLAB
 (25 MPa CONC. STRENGTH)
 100mm CRUSHED STONE BELOW
- 9 DRAINAGE**
 100mm DIA. WEEPING TILE W/
 150mm CRUSHED STONE COVER
- 10 ROOF CONSTRUCTION**
 20 YEAR ASPHALT SHINGLES W/
 EAVES PROTECTION ON MIN. 9.5mm
 EXTERIOR PLYWOOD SHEATHING
 ON APPROVED ROOF TRUSSES OR
 CONVENTIONAL FRAMING (SEE PLANS)
 USE 'H' CLIPS IF 600mm O.C. SPACING
- 11 OVERHANG CONSTRUCTION**
 PREFINISHED ALUMINUM FASCIA,
 EAVESTROUGH & RAIN WATER LEADERS
 TO MATCH EXISTING FINISHES. PROVIDE
 DRIP EDGE AT FASCIA & VENTED SOFFIT
 EXTEND DOWNSPOUTS TO GRADE LEVEL
- 12 ROOF VENTILATION**
 1:300 OF THE INSULATED CEILING
 AREA UNIFORMLY DISTRIBUTED.
- 13 EAVES PROTECTION**
 EAVES PROTECTION MEMBRANE TO
 EXTEND FROM THE EDGE OF THE
 ROOF, 900mm UP THE SLOPE BUT NOT
 LESS THAN 300mm BEYOND THE
 INTERIOR FACE OF THE EXTERIOR WALL
- 14 CEILING CONSTRUCTION**
 15.9mm INTERIOR DRYWALL FINISH
 CONTINUOUS AIR / VAPOUR BARRIER
 W/ MINIMUM RSI 7.00 BATT INSULATION
- 15 FLOOR CONSTRUCTION**
 15.5mm T&G PLYWOOD SUBFLOOR
 38x184 FLOOR JOISTS @ 400mm O/C.
 FLOOR JOISTS BRIDGED W/
 CONTINUOUS 19mmx64mm STRAPPING
 OR 2 ROWS OF 38mmx38mm CROSS
 BRIDGING OR SOLID BLOCKING
- 16 INTERIOR STUD PARTITION**
 12.7mm DRYWALL FINISH BOTH SIDES OF
 38x89 WOOD STUDS @ 400mm O/C
 2 TOP PLATES & 1 BOTTOM PLATE
 PROVIDE REINFORCEMENT FOR FUTURE
 GRAB BAR INSTALLATION IN BATHROOM
- 17 MECHANICAL VENTILATION**
 PROVIDE MIN. 10.6 CFM IN KITCHENS
 AND BATHROOMS, 80 CFM FOR
 PRINCIPAL EXHAUST FAN
- 18 STAIRS INTERIOR/EXTERIOR**
 MAXIMUM RISE = 200mm
 MINIMUM RISE = 125mm
 MINIMUM RUN = 210mm
 MAXIMUM RUN = 355mm
 MINIMUM TREAD = 235mm
 MAXIMUM TREAD = 355mm
 MAXIMUM NOSING = 25mm
 MINIMUM WIDTH = 860mm
 MINIMUM HEADROOM = 1950mm
- 19 GUARDS**
 INTERIOR LANDINGS = 900mm
 EXTERIOR BALCONY = 1070mm
 INTERIOR STAIRS = 900mm
 EXTERIOR STAIRS = 900mm
 MAX. BETWEEN PICKETS = <100mm
 GUARD HEIGHT IF
 DECK TO GRADE IS:
 GREATER THAN 1800mm = 1070mm
 1800mm OR LESS = 900mm
 NO MEMBER OR ATTACHMENT
 BETWEEN 140mm & 900mm HIGH
 SHALL FACILITATE CLIMBING
- 20 ATTIC ACCESS**
 PROVIDE ATTIC ACCESS
 MIN. 545mmx588mm W/ INSULATION
 & WEATHER STRIPPING
- 21 PIERS**
 PROVIDE 184mm DIA. SONO TUBE
 FOR POURED CONCRETE PIERS
 MINIMUM 1200mm BELOW GRADE
- 22 EXISTING SOLID MASONRY
 EXTERIOR WALL TO REMAIN.**
- 23 73mm DIA. PIPE COLUMN W/
 100mmx100mmx6.35mm
 TOP & BOTTOM PLATE
 1m x 1m x 450mm CONCRETE FOOTING**
- 24 EXISTING FLOOR STRUCTURE
 TO REMAIN.**
- 25 EXISTING CEILING STRUCTURE
 TO REMAIN.**
- 26 REMOVE EXISTING EXTERIOR WALL
 AS SHOWN DOTTED**
- 27 REMOVE EXISTING INTERIOR STUD
 PARTITIONS AS SHOWN DOTTED**
- 28 REMOVE EXISTING ROOF OVERHANG
 AS SHOWN DOTTED**
- 29 REMOVE EXISTING FOUNDATION WALL
 AS SHOWN DOTTED**
- 30 REMOVE EXISTING WINDOW & FRAME
 MAKE GOOD OPENING W/ BRICK TO
 MATCH EXISTING ON THE EXTERIOR**
- 31 INSTALL A CARBON MONOXIDE
 DETECTOR CONFORMING TO
 CAN/CGA-6.19 OR UL 2034**

ROOM FINISH SCHEDULE

RM. NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING			REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
	FIRST FLOOR										
①	KITCHEN	CERAMIC TILE	-----	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	
②	BREAKFAST	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
③	BEDROOM	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
④	CLOSET	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
⑤	BATH	CERAMIC TILE	-----	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	
	BASEMENT										
⑥	REC. ROOM	CONC.	CERAMIC TILE	WOOD	PAINT	DRYWALL	PAINT			2340mm	

DOOR SCHEDULE

NO.	TYPE	SIZE	QTY.	REMARKS
①	EXTERIOR	1525mmx 2030mm	1.	FRENCH DOOR
②	SLAB	760mmx 2030mm	1.	800 SERIES
③	SLAB	610mmx 2030mm	1.	800 SERIES
④	POCKET DOOR	610mmx 2030mm	2.	

LINTEL SCHEDULE

NO.	DESCRIPTION
①	2-38x184 SPRUCE
②	3-38x184 SPRUCE
③	2-38x235 SPRUCE
④	3-38x235 SPRUCE
⑤	2-38x286 SPRUCE
⑥	3-38x286 SPRUCE
⑦	90mmx 90mmx 6mm L
⑧	90mmx 90mmx 8mm L
⑨	100mmx 90mmx 6mm L

LEGEND

- ⊕^{WP} DUPLEX OUTLET (WEATHERPROOF)
- ⊕^{HT} DUPLEX OUTLET (HGT. ABOVE FLR.)
- ⊕³⁰⁰ DUPLEX OUTLET (300mm ABOVE FLR.)
- ⊙ EXHAUST FAN
- ⊕ SWITCH
- ⊕^{HB} HOSE BIB
- ⊕^{SD} SMOKE DETECTOR
- ⊙ HEAVY DUTY OUTLET
- ⊙ LIGHT FIXTURE (WALL MOUNTED)
- ⊙ LIGHT FIXTURE (CEILING MOUNTED)
- ⊙ POT LIGHT FIXTURE
- ⊙ LIGHT FIXTURE (WATER RESISTANT)
- ⊙ LIGHT FIXTURE (CAPPED)
- ⊕^{FL} FLUORESCENT LIGHT FIXTURE
- ⊕^{SW} SOLID WOOD BEARING
- ^{FD} FLOOR DRAIN
- ◀ TV CABLE OUTLET
- ◁ TELEPHONE OUTLET
- ⊙ COMPUTER OUTLET
- ⊕^{DE} DRYER EXHAUST

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/ A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR

NO.	TYPE	SIZE	QTY.	REMARKS
①	CASEMENT	1525mmx 1525mm	1.	
②	CASEMENT	610mmx 1525mm	2.	
③	SLIDER	915mmx 450mm	2.	