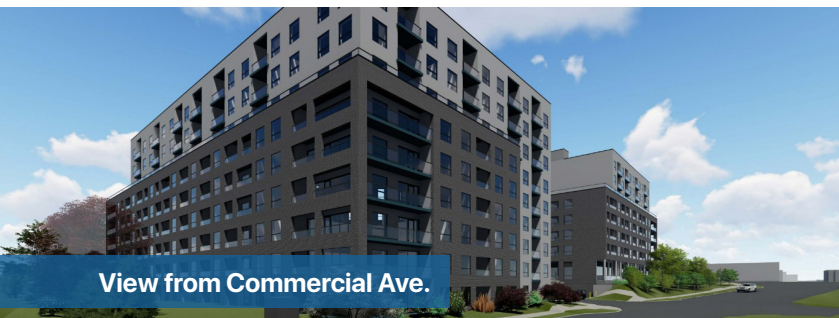


Monthly Activity Summary



New Development Applications

Location	20 & 30 Blowers Cres.
Applicant	Rajinder Chaku Architect
Ward	2
Staff	Eric Simpson, Development Planner
Type of Application	Site Plan
Details	Proposed development of a 5-storey, 87 room hotel. A 242 m ² restaurant is also proposed which represents the second phase of the development.



Location	73 Hunt St. (SW corner of Hunt & Commercial Ave.)
Applicant	Northview REIT
Ward	3
Staff	Eric Simpson, Development Planner
Type of Application	Site Plan
Details	Proposed development of a mixed use 8-storey rental apartment building with 148 residential units and 982 m ² of commercial floor space as well as an 8-storey rental apartment building with 155 units. Underground and above ground parking is proposed to support the building.



Building Permits Under Review

November 2019



9 Barr Rd. - 1-storey, 1,800 m², multi-unit industrial condo



25 Kitney Dr – Medallion Tower 'C'



40 Kingston Rd. E. & 135 Harwood Ave. N.
\$1.5 million Durham Centre façade improvements



Major Building Permits Issued



Jiffy Self-Service Storage Facility

18 Gadsden Ct.

• 12,182 m²

• Site Servicing permit issued Sept. 17/19



Updates & Events

Transportation

Traffic Calming – Installation of Bollards

The Town installed flexible bollards on Ravenscroft Road this fall as part of a traffic calming pilot project.

Between Westney Road and Delaney Drive, five sets of bollards were installed in strategic locations narrowing the travel lane width. The center bollard doubled as a speed limit sign or a school crosswalk sign and the outer bollards narrowed the travel lanes to slow down drivers. Traffic data was collected before and after their implementation. Due to winter plowing operations, these bollards were recently removed in advance of the first snowfall.

Town staff will be analyzing the data over the winter and reviewing resident feedback in order to determine if these bollards will be considered a permanent traffic calming solution for Ravenscroft and should be reinstalled in the spring. They will also determine if the use of bollards as traffic calming solutions should be expanded to other Town roads.



Engineering Updates & Events

Stormwater Management Pond Rehabilitation

The Town has just completed a stormwater management pond rehabilitation in North Ajax (Old Harwood & Fishlock). Funding was received for this project through the Clean Water and Wastewater Fund (CWWF).

Stormwater management ponds are designed to provide stormwater runoff (ex. rainfall, snowmelt) quality and quantity control to prevent water pollution and flooding. These ponds require rehabilitation over time in order to maintain the functionality of the pond.



Before



After



Updates & Events (Continued)

Economic Development

Upcoming Economic Development Events:



Better Business Expo

November 15, 2019 | 12 – 6 p.m.
Audley Recreation Centre
1955 Audley Rd. N.

Free Tickets for general admission
betterbusinessexpo.ca



Government to Business (G2B)

Thursday, November 28, 2019
8:30 a.m. - 4:30 p.m.
Audley Community Hall
1955 Audley Rd. N.

Free event | ajax.ca/business



Innovation Village Project

Launched by Ajax Council on
September 16, 2019

ajax.ca/InnovationVillage

For more details and upcoming events, visit
ajax.ca/business



Meeting Schedule

GGC Reports & Presentations:

November 11

- Planning & Development User Fee Report
- Assumption of Subdivision – Guthrie Phase 1 & 2, 18T-99010
- Ballycliffe Development Charge Deferral Agreement – 70 Station St.
- Acquisition of Land and Permanent Easements from TRCA for Church St. Reconstruction

Dec 20

- Assumption of Subdivision – Menkes Phase 4, Mountcliffe, Heroes Point & Hampstock Phase 4
- Contract Award – Westney Rd OGS Stormwater Mgmt Pond Rehabilitation
- Disposal of Town-owned Lands: Part 1-3 40R-27733 (1257 Westney Rd. N.)

Public Open Houses:

- Land Squared / Rogers Communications, Inc. (TF2/19) (Nov 28/19)
- Shared Network Canada (TF1/19) (Dec 5/19)
- 27 Harwood Ave Inc. (27, 29 & 31 Harwood Ave S) OPA18-A2 & Z6/18 (Dec 5/19)

Council Reports & Presentations:

Nov 18

- Planning & Development Fee By-law
- Assumption of Subdivision – Guthrie Phase 1 & 2, 18T-99010
- Envision Durham- Municipal Comprehensive Review Addendum to Ajax Comments
- By-law XX-2019 – Remove Holding Provision – Carwash Central Ontario Inc. (SP12/18)

Dec 20

- Assumption of Subdivision – Menkes Phase 4, Mountcliffe, Heroes Point & Hampstock Phase 4
- By-law XX-2019: Agreement of Purchase & Sale with Holyrood Holdings Ltd.

NOTE: ALL MEETINGS ARE TENTATIVE AND MAY BE SUBJECT TO CHANGES

ajax.ca/planning news

