

Monthly Activity Summary



Planning & Development COVID-19 Service Updates

Applications

Planning & Development Services is continuing to receive and process the following applications:

- Major and Minor Planning Applications
- Minor Variance Applications
- Heritage Permit Applications and Pickering Village CIP Grant Applications
- Building and Demolition Permit Applications

Planning and Building Permit Applications can be submitted via email at:

PlanningServices@ajax.ca (for Planning)

buildingpermits@ajax.ca (for Building)

Applications can also be dropped off at Town Hall (65 Harwood Ave. S., Ajax ON).

We have several payment options available:

Cheque, Electronic Funds Transfer, Wire Transfers, On-line credit card and On-line Payments through the bank (Cash payments are not being accepted at this time).

Apron Widening / Driveway Permits

The Town of Ajax has temporarily suspended the processing of curb cutting and apron widening applications for residential driveways. This suspension will remain in place until the completion of a Town study designed to consider more flexibility for property owners. The study (which has temporarily been put on hold due to the COVID-19 pandemic) is expected to be completed in late 2020 or early 2021.

Committee of Adjustment

The Town of Ajax Committee of Adjustment has been continuing to hold their monthly meetings virtually via the Zoom Electronic Meeting platform.

The Committee has held three virtual meetings to date. Residents are able to tune into the meeting via a livestream link on the Town's website. Applicants and anyone having an interest in participating in the meeting are able to register with the Town's Clerks Office to take part in the Zoom meeting. By continuing to run meetings virtually, owners and applicants are able to continue to pursue the necessary approvals in order to move forward with their planning and building applications.

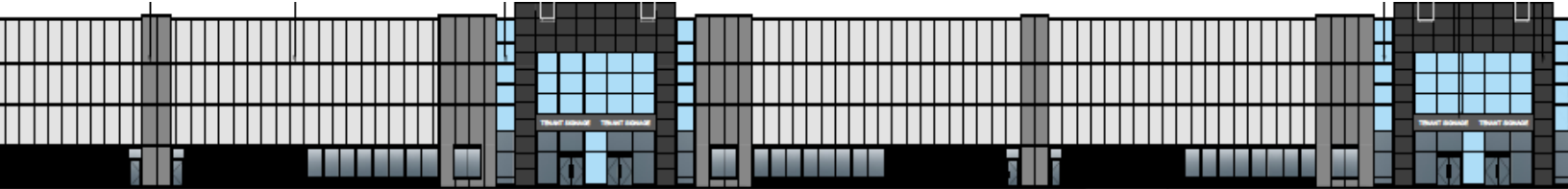
For more information on our services available during COVID-19, please visit ajax.ca/COVID19.





New Development Applications

Location	105 Rossland Rd. W.
Applicant	Katanna Developments
Ward	1
Staff	Caitlin Graup, Senior Development Planner
Type of Application	Site Plan
Details	Proposed development consisting of 60 stacked back-to-back townhouse units



Location	675 Harwood Ave. N.
Applicant	Triovest Realty Advisors
Ward	2
Staff	Caitlin Graup, Senior Development Planner
Type of Application	Site Plan
Details	Proposed development of two single-storey buildings in the Prestige Employment (PE) zone, consisting of a total 33,880 m2 of gross floor area.



Location	537 Kingston Rd. E.
Applicant	Ivanhoe Cambridge
Ward	3
Staff	Eric Simpson, Development Planner
Type of Application	Site Plan / Zoning By-Law Amendment
Details	Proposed development of a 1-storey, 112,792 m ² warehouse / distribution centre



Town House View



Amenity Side

Location	253 & 255 Lake Driveway W.
Applicant	Your Home Developments Inc.
Ward	3
Staff	Eric Simpson, Development Planner
Type of Application	Official Plan Amendment / Zoning By-Law Amendment
Details	Proposed development of an 8-storey residential building consisting of 163 dwelling units and one 3-storey stacked townhouse block containing 15 dwelling units. One level of underground and one level of structured parking is proposed to accommodate the development.



Major Building Permits Issued

20 Pugsley Crt. – Vaultra Storage

4–storey self-service storage building (7,675 m²)
Issued: July 17, 2020

25 Kitney Dr.

Shoring Permit for Medallion Buildings C & D
Issued: July 15, 2020

333 Rossland Rd. E.

Site Servicing Permit for Blackwood Properties Ltd.
Issued: July 9, 2020

925 Finley Ave.

Site Servicing Permit for 16 unit townhouse development
Issued: June 26, 2020

515 Old Harwood Ave.

Site Servicing Permit for 38 unit townhouse development
Issued: May 20, 2020

Transportation Updates & Events

Traffic Calming

Town staff are currently proceeding with the installation of traffic calming measures along three road segments listed below. Over the last few months, designs were prepared and an online public consultation was completed for these projects. Installation of the traffic calming measures will take place in the month of September. The additional measures include:

Ravenscroft Rd. (from Rossland Rd. to Westney Rd.)

Includes the completion of traffic calming measures which were initially installed last fall as part of a Pilot Program. The additional measures include:

- painting of a centre line
- installation of four additional bollard sets throughout the corridor
- placement of permanent speed boards.

Emperor St. (from Harwood Ave. to Pickering Beach Rd.)

Involves the replacement of traffic calming measures which had reached the end of their effective service life. The three speed bumps will be replaced with six new bollard sets along with the additional painted centre line and the placement of permanent speed boards.

Seaward Dr. (from Williamson Dr. to Williamson Dr.)

Also involves the replacement of traffic calming measures which had reached the end of their effective service life. The two speed bumps will be replaced with six new bollard sets.

Following the review of the public comments, the designs have been refined and will be issued for tender in the coming weeks. They are scheduled to be installed later this summer.



#ActiveTOA: Explore Ajax by Bike Campaign

With more places reopening, the Town of Ajax is encouraging residents to explore Ajax by bike to get around and reconnect with their neighbourhoods. The Town launched a social media campaign and video series promoting the trails, providing tips for new riders, and asking for collaboration from drivers in maintaining road safety.

The videos and posts received thousands of views. Residents responded expressing interest in improving infrastructure for biking and walking.

Town staff will continue to encourage residents to explore Ajax by bike throughout the summer.



More videos will be released over the summer explaining the different bike route options and encouraging collaboration in maintaining pedestrian safety.

Go to ajax.ca/bike for bike route options.

Contact GetAjaxMoving@ajax.ca for more information.

Engineering Updates

Stormwater Management Funding Feasibility Study

The Stormwater Management Funding Feasibility Study will tie into the Town's Financial Sustainability Plan and the Asset Management Plan.

The study will examine the Town's current level of service regarding stormwater management and recommend funding solutions in order to achieve a sustainable level of service.



Economic Development Updates

COVID-19 Business Recovery & Growth Plan

The Economic Development Department has launched a new 20/20 Focus: COVID-19 Business Recovery & Growth Plan. The strategic document highlights 20 ways the Town of Ajax can collaboratively support local businesses as they recover from the effects of mandated COVID-19 shutdowns.

20/20 Focus area highlights include:

- Launching a COVID-19 business recovery resource webpage
- Fast-tracking patio permit process
- Relaxing bylaw for business mobile signs
- Continuing #SupportLocal and #TakeOutDay campaigns
- Expanding innovation programming, including siberXchange 2.0
- Reimagining tourism support, including reintroduction of the Bike Friendly Business program
- Facilitating relevant and timely conversations with businesses
- Developing a five-year Economic Development Action Plan



The full 20/20 Focus: COVID-19 Business Recovery & Growth Plan is available for viewing at ajax.ca/business.



Meeting Schedule

GGC Reports & Presentations:

Sept 14

- ASE Program Update & Costing & Community Safety Zones
- Subdivision Assumption: National Homes S-A-2003-01
- Second Amendment to the North Station Street Property Agreement of Purchase and Sale: Ledim Development Ltd.

Council Reports & Presentations:

Sept 21

- Potential Options at Harwood Ave N & Haskell Ave
- Williamson Petition (between Ravenscroft & Searall)
- Subdivision Assumption: National Homes S-A-2003-01
- By-Law XX-2020 – By-Law to Authorize the Execution of an Amending Agreement of Purchase and Sale for the North Station Street Property

NOTE: ALL MEETINGS ARE TENTATIVE AND MAY BE SUBJECT TO CHANGES



Please visit the Town's IMO page for up-to-date development activity imo.ajax.ca

ajax.ca/PlanningNews

