

# Monthly Activity Summary



## Planning 101 Series #1 - All about Zoning By-Laws

### What is a Zoning By-law?

A zoning by-law is a legal tool that allows a municipality to regulate land use, as well as the scale and intensity of development. A zoning by-law implements the objectives and policies of a municipal official plan by:

- Dividing a municipality into zones (e.g. residential, institutional, commercial, employment);
- Specifying how land within those zones may be used by establishing the types of uses permitted within each zone (e.g. single detached dwelling, office, restaurant, etc.); and,
- Specifying criteria for development within each zone, including:
  - where buildings and other structures can be located on a property;
  - the types of uses that are permitted (e.g. single detached dwelling, restaurant, apartment building, day care facility);
  - lot size;
  - parking requirements; and,
  - building heights and setbacks from the street and adjoining properties.

Municipalities are authorized by Section 34 of the Ontario Planning Act to enact zoning by-laws.

### Who Uses a Zoning By-law?

Zoning by-laws are read and interpreted by many people including land owners, land purchasers, developers, planners, building and by-law officials, Council, the Committee of Adjustment, architects, lawyers, consultants and real estate agents for a variety of purposes, such as:

- Determining permitted uses and development standards for land, buildings and structures;
- Determining the development potential of land and

buildings;

- Evaluating and making decisions on development applications based on their compliance to the Town's zoning by-law; and,
- Evaluating and making decisions on applications for Minor Variances requesting relief from zoning by-law provisions.

### Can Changes be made to a Zoning By-law?

Amendments are made to zoning by-laws from time to time to change the zoning on a specific property or area. A zoning by-law amendment may change the permitted uses or development standards to accommodate a type of land use or size/configuration of building that is not currently permitted.

Zoning By-Law Amendments may be in the form of changes to specific or broad zoning provisions; these types of changes are usually a result of a municipally-initiated study or a municipality's comprehensive review of their zoning by-law. Zoning By-Law Amendments may also be in the form of a Zoning Exception; these types of changes are site specific and usually made as a result of a development application that, for example, requests the permission of an additional use on a property.

Changes to a zoning by-law can also be made through a Minor Variance for a specific property.

A Minor Variance does not change the zoning of a property, but rather excuses the development from specific provisions of the zoning by-law, such as building height or maximum lot coverage, or permits a minor change to the use of the property.



**Be sure to check back for Planning Series #2 – "What is a Minor Variance?"**



## Residential Driveways Update

The Town recently implemented a Zoning By-Law Amendment to modify residential driveways standards. These changes were introduced to provide property owners with more flexibility to alter their properties and include measures that will maximize parking on private property while also protecting the aesthetics of residential streetscapes.

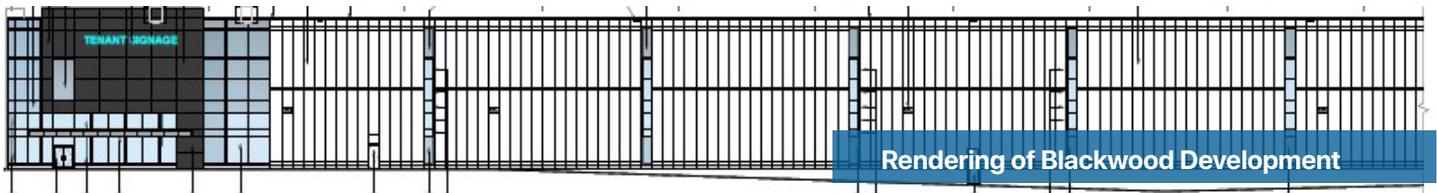
The amendment results in new provisions that will allow for “Driveway-Adjacent Walkways” to be constructed at-grade alongside driveways. These walkways are permitted to extend a maximum of 1.8 metres beyond the listed maximum driveway width on the side of the driveway nearest the principle entrance of the dwelling and a maximum of 0.6 metres beyond the listed maximum driveway width on the opposite side of the driveway. Driveway-Adjacent Walkways must be visually delineated from the driveway through a change in material, a change in the colour of the material or a change in the layout or pattern of the material, and generally must maintain a setback of at least 0.3 metres from a side property line.

The new driveway standards apply to all residential properties throughout the Town with the exception of driveways in multiple-residential properties that have been approved through a site plan application. For further information, please contact Planning Services at 905-619-2529, ext. 3631 or [PlanningServices@ajax.ca](mailto:PlanningServices@ajax.ca).



## New Development Applications

<b>Location</b>	789 Salem Rd. N.
<b>Applicant</b>	CPSP Ajax Nominee Inc. (Blackwood Partners Inc.)
<b>Ward</b>	2
<b>Staff</b>	Bruno Scopacasa   Senior Development Planner
<b>Type of Application</b>	Site Plan Amendment
<b>Details</b>	Proposed development of 2 buildings for warehouse/distribution purposes with proposed gross floor areas of 66,596.36 m <sup>2</sup> (716,827.25 ft <sup>2</sup> ) for Building B and 17,634.08 m <sup>2</sup> (189,811.47ft <sup>2</sup> ) for Building C, loading areas, tractor trailer parking, surface parking



<b>Location</b>	3-73 Cedar St.
<b>Applicant</b>	Humphries Planning Group Inc. on behalf of Firmland (Cedar) Inc.
<b>Ward</b>	3
<b>Staff</b>	Eric Simpson, Development Planner
<b>Type of Application</b>	Site Plan
<b>Details</b>	Proposed development of 20, 3-storey back-to-back townhouse dwellings with a private lane within a common elements condominium.



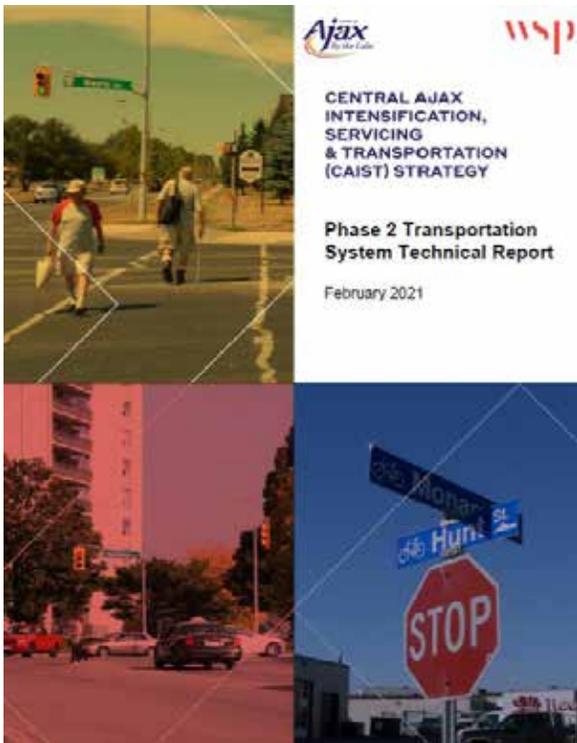


## Long-Term Care Facility and Future Parking Structure

Construction is underway for a 6-storey, 320 bed Long-Term Care Facility and a 4-storey parking structure proposed on one of the adjacent parking lots.

## Central Ajax Intensification, Servicing & Transportation (CAIST) Strategy

In February 2021, the Town completed Phases 1 & 2 of the Central Ajax, Intensification, Servicing & Transportation (CAIST) Strategy. The strategy will examine anticipated servicing and transportation infrastructure needed to support growth in Downtown Ajax and the Ajax GO Station to 2051. Phase 3 (final phase) is targeted to be completed in the Fall 2021.



## Major Building Permits Issued

### 35 Kings Crescent – Salvation Army

2-storey, 1,825 m<sup>2</sup>  
Worship and Community Building  
*Issued: February 11, 2021*

### 20 Pugsley Court – Vaultra Self-Storage

11, 1-storey, 2,960 m<sup>2</sup>  
Self-storage buildings  
*Issued: April 6, 2021*

### 5 Fishlock Street – St. Teresa of Calcutta Catholic School

1-storey, 294 m<sup>2</sup>  
Childcare Addition  
*Issued: April 22, 2021*

### 2997 Lakeview Boulevard – Paradise Park Public Washrooms

*Issued: April 28, 2021*



## Major Building Permits Under Review

### 600 Harwood Ave. S. – Lakeridge Health

4-storey, 16,437 m<sup>2</sup>  
532 space parking structure

### 3 Keensford Court – Harwood Holdings Inc.

1-storey, 21,000 m<sup>2</sup>  
Industrial building (foundation permit issued on: June 3, 2021)

### 675 Harwood Ave. N. – Harwood Holdings Inc.

1-storey, 12,880 m<sup>2</sup>  
Industrial building

### 599 Kingston Rd. W.

4-storey, 5,150 m<sup>2</sup>  
60 apartments, mixed use building

### 335 Fairall St. – Ajax Estates Holdings Ltd.

1-storey, 8,960 m<sup>2</sup>  
Industrial addition (foundation permit issued on: May 31, 2021)

# Spring is Here! What you need to know about Home Improvement Projects and when you need a Building Permit



Spring is typically a time when home owners put their minds toward home improvement projects, some of these projects may require a building permit. A building permit gives the home owner formal permission to build their project. It confirms that their plans comply with the building code, zoning by-laws and any other laws or regulations that might apply. A building permit provides the home owner assurance that their work, or that of their contractor will be done properly, built soundly, and is safe.

The following is general information on building permit requirements, including what type of projects require a building permit application, and how to submit a building permit application.

A building permit is required for the construction, demolition, or alteration of any building or structure that occupies an area of more than **10 m<sup>2</sup> (108 ft<sup>2</sup>)**.

The following list provides examples of common projects that require building permits. A complete list can found on our website at: <https://www.ajax.ca/en/home-and-property/home-and-property-renovations.aspx>

- Decks or platforms
- Sheds or garages
- Additions
- Basement finishing
- Accessory apartment
- Plumbing additions or alterations
- Signs

#### **To obtain a building permit:**

- Submit an application along with drawings detailing the proposed construction.
- Application can be submitted via email to: [buildingpermits@ajax.ca](mailto:buildingpermits@ajax.ca).
- Information, including the building permit application, examples of required drawings, fees, and detailed instructions on submitting an application can be found by visiting: <https://www.ajax.ca/en/business-and-growth/building-requirements-and-permits.aspx>

Should you have any questions regarding building permits, please contact [buildingpermits@ajax.ca](mailto:buildingpermits@ajax.ca).



## Transportation Updates

### Library Bike Lock Rental Program

Transportation staff have provided bike locks to all Ajax Library branches for the Library Bike Lock Rental Program. This summer, residents will be able to borrow a bike lock for up to three weeks using the library catalogue. Need a bike lock? [Click here to rent one!](#)



### Discussing the Economic Benefits of Biking on Global News Durham and TVO

Transportation staff have been featured on Global News Durham and TVO discussing the benefits of biking to support local businesses. The increases in the number of residents biking during the pandemic presents opportunities for increasing the likelihood that they will see existing businesses—locations that otherwise would have been overlooked while driving. The Town continues to expand its active transportation network connecting residents to surrounding businesses. Check out the Town’s existing bike routes at [ajax.ca/bike](http://ajax.ca/bike).



### Bike repair stations

Need tools to give your bike a tune-up, simple repairs, or maintenance? An outdoor bike repair station has been installed at the Pickering Village Square and an additional bike repair station will be installed this summer. Check out [ajax.ca/bike](http://ajax.ca/bike) for updates on new bike repair stations locations.



## Engineering Updates

### Stormwater Funding Feasibility Study

Engineering is undergoing a Stormwater Funding Feasibility Study, which will help inform future funding requirements for the Town’s Stormwater Management System. This project is working hand-in-hand with the Town’s Asset Management Plan, which is also currently underway. Two public open houses have been held so far. Final report went to GGC on June 14, 2021 with ratification of the recommendations going to the Council meeting on June 21, 2021 .



### Did you Know?

During the Spring, increased precipitation can lead to high water-levels in Creeks and ponds. Members of the public should always be cautious around stormwater management ponds as the water-levels are designed to fluctuate and can be higher than usual if it has rained recently.



## Economic Development and Tourism Updates & Events



29 Investment Inquiries



68 Business Calls

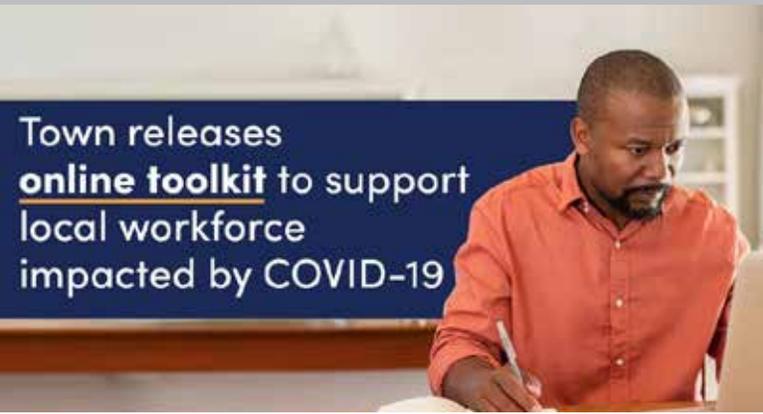


14 Temporary Patio Permits Issued

### upNext Ajax

upNext Ajax returns for 2021. “Get Future Ready” with upNext Ajax, a free entrepreneur and employment experience program for young adults between the ages of 18-29. To learn more and apply, visit [upnextajax.ca](http://upnextajax.ca).





Town releases online toolkit to support local workforce impacted by COVID-19

### Ajax Works

The Town of Ajax is pleased to introduce Ajax Works, an online suite of employment resources for businesses and employees that have been impacted by the COVID-19 pandemic.

Ajax Works is a comprehensive online package of videos with industry experts providing tactics to stand out from the crowd and be best prepared for employment opportunities or to start a business. The online support package is available at: [ajax.ca/works](http://ajax.ca/works).

### Ajax Works Café

Introducing the Ajax Works Café networking series. In an effort to further support the local workforce impacted by COVID-19, the Town has launched Ajax Works Café, a networking series focused helping job seekers find employment and employers find the talent they need to

grow. The initiative is an extension of the Ajax Works online toolkit. The first Ajax Works Café will be held virtually on July 14, 2021. Event details will be posted at [ajax.ca/business](http://ajax.ca/business).

### Ajax Business Network

The Accessible Ajax event was a great success! Our guest speaker, Maayan Ziv, shared valuable incentives on accessibility allyship and the importance of taking the steps to becoming informed on accessibility inclusiveness.



Maayan founded [AccessNow](http://AccessNow), a mobile app and website that collects and shares information about the accessibility status of places worldwide. What began as a response to her frustration when trying to navigate inaccessible places, [AccessNow](http://AccessNow) soon grew to become a mission-oriented social start-up. Within just a couple years AccessNow has vocalized a movement for inclusion, inviting people of all abilities to contribute to the platform.

We encourage all businesses to increase their clientele by investing a few moments to add their location to the [AccessNow](http://AccessNow) app. It's not only the right thing to do, it makes great business sense.



## Meeting Schedule

### Council Reports & By-Laws:

#### June 21

- Blackwood Construction Agreement
- Business Improvement Area (BIA) Director Appointments/Removals BIA Comprehensive Review Update
- Subdivision Assumptions By-Laws - Gates of Ajax 18T-89107/Hampstock Pond West Phase 4, Blk 188 40M-2347 & Blk 168 40M-239

- By-Law XX-2021 and XX-2021 - OPA20-A1 and Z1/20 (1192 & 1260 Church Street North)
- By-Law XX-2021 - Amending Parking Lot Control By-Law - John Boddy Developments Ltd.

**NOTE: ALL MEETINGS ARE TENTATIVE AND MAY BE SUBJECT TO CHANGES**

[ajax.ca/PlanningNews](http://ajax.ca/PlanningNews)

